

Panel Reference	PPPSSH-8
DA Number	DA 697/2019
LGA	Canterbury Bankstown City Council
Proposed Development	Early works for proposed Western City University Bankstown City Campus, demolition, tree removal, bulk excavation, shoring and temporary anchors, services diversion and alterations to The Appian Way layback at Rickard Road
Street Address	74 Rickard Road, Bankstown
Applicant/Owner	Western Sydney University / Canterbury Bankstown City Council
Date of DA lodgement	Select Date
Total number of Submissions Number of Unique Objections	• 0 • 0
Recommendation	Approval
Regional Development Criteria (Schedule 7 of the SEPP (State and Regional Development) 2011)	Council related development with a CIV over \$5 million
List of all relevant s4.15(1)(a) matters	• State Environmental Planning Policy No. 19 – Bushland in Urban Areas; • State Environmental Planning Policy No 55 – Remediation of Land; • State Environmental Planning Policy (State and Regional Development) 2011; • State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017; • Greater Metropolitan Regional Environmental Plan No. 2 – Georges River Catchment; • Bankstown Local Environmental Plan 2015; • Draft State Environmental Planning Policy (Remediation of Land); • Draft State Environmental Planning Policy (Environment) • Draft Canterbury Bankstown Consolidated Local Environmental Plan • Bankstown Development Control Plan 2015; • Section 94A Development Contributions Plan; and • Clauses 92 93, 94 and 94A of the Regulations.
List all documents submitted with this report for the Panel's consideration	• Attachment 1: Conditions of consent • Attachment 2: Site Establishment Plans
Clause 4.6 requests	N/A
Summary of key submissions	N/A
Report prepared by	DFP Planning Pty Ltd
Report date	14 August 2020

Summary of s4.15 matters

Have all recommendations in relation to relevant s4.15 matters been summarised in the Executive Summary of the assessment report?

Yes

Legislative clauses requiring consent authority satisfaction

Have relevant clauses in all applicable environmental planning instruments where the consent authority must be satisfied about a particular matter been listed, and relevant recommendations summarized, in the Executive Summary of the assessment report?
e.g. Clause 7 of SEPP 55 - Remediation of Land, Clause 4.6(4) of the relevant LEP

Yes

Clause 4.6 Exceptions to development standards

If a written request for a contravention to a development standard (clause 4.6 of the LEP) has been received, has it been attached to the assessment report?

Not applicable

Special Infrastructure Contributions

Does the DA require Special Infrastructure Contributions conditions (S7.24)?

No

Note: Certain DAs in the Western Sydney Growth Areas Special Contributions Area may require specific Special Infrastructure Contributions (SIC) conditions

Conditions

Have draft conditions been provided to the applicant for comment?

Yes

Note: in order to reduce delays in determinations, the Panel prefer that draft conditions, notwithstanding Council's recommendation, be provided to the applicant to enable any comments to be considered as part of the assessment report

1.0 EXECUTIVE SUMMARY

On 6 September 2019, a Development Application (DA-697/2019) was submitted to Canterbury Bankstown Council (Council) for:

Early works for proposed Western Sydney University Bankstown City Campus, demolition, tree removal, bulk excavation, shoring and temporary anchors, services diversion and alterations to The Appian Way layback at Rickard Road.

The proposed Western Sydney University (WSU) Bankstown City Campus is located at 74 Rickard Road, Bankstown (the site). The site is owned by Council with a lease arrangement to WSU. As the site is owned by Council and the project has a Capital Investment Value (CIV) of more than \$5 million, the DA must be determined by the Sydney South Planning Panel (SSPP). Furthermore, in accordance with Council's policy, DFP has been commissioned to prepare this assessment report.

Pursuant to clause 226(1) of the *Environmental Planning and Assessment Regulation 2000* (the EP&A Regulation), the application is defined as Crown Development as the DA has been lodged on behalf of WSU, which is an Australian university within the meaning of the *Higher Education Act 2001*. In accordance with Division 4.6 of the *Environmental Planning and Assessment Act 1979* (EP&A Act), a consent authority must not refuse a Crown Development Application (except with the approval of the Minister) or impose a condition except with the approval of the Applicant (or the Minister). A draft copy of the conditions was issued to the Applicant on 31 July 2020. Following discussions with Council, the Applicant provided agreement to the proposed Conditions of Consent (see **Attachment 1**) on 14 August 2020. Notwithstanding, a minor amendment to Condition 39 is proposed in relation to the replacement of street trees along Rickard Road to ensure that replacement of the trees to be removed can be enforced under this DA.

The proposed early works DA is to facilitate the future redevelopment of the site for the proposed WSU Bankstown City Campus, which is subject to State Significant Development Application (SSD-9831). The proposed WSU Bankstown City Council is a 19-storey educational establishment with ancillary retail uses. The Applicant is currently preparing a Response to Submissions (RTS) report. The SSDA relies on amendments to *Bankstown Local Environmental Plan 2015* (the LEP) which are currently the subject of a Planning Proposal that has received gateway determination under section 3.34(2) of the EP&A Act. The proposed early works development does not rely on the Planning Proposal.

The proposed development is permissible with consent pursuant to cl2.7 (demolition) and cl6.2 (earthworks) of the LEP and is consistent with the relevant provisions of the LEP relating to heritage and flooding planning. Furthermore, it is noted that the proposal is intended to facilitate land uses which are permissible in the B4 Mixed Use Zone which applies to the site.

The proposed development is also consistent with the relevant planning provisions of the following environmental planning instruments (EPIs) and development controls plan:

- *State Environmental Planning Policy (State and Regional Development) 2011* (SEPP SRD);
- *State Environmental Planning Policy No 19 – Bushland in Urban Areas* (SEPP 19) – particularly cl9(2);
- *State Environmental Planning Policy No. 55 – Remediation of Land* (SEPP 55) – particularly cl7(1);
- *Greater Metropolitan Regional Environmental Plan No 2 – Georges River Catchment* (GMREP 2);
- the LEP; and
- Bankstown Development Control Plan 2015 (the DCP).

The proposal has also been assessed against the relevant draft EPIs including the draft Canterbury Bankstown Consolidated Local Environmental Plan.

The application was advertised and notified for a period of 21 days. No submissions were received. The DA was not externally referred.

The early works DA was referred to relevant internal Council departments and a range of issues were identified including extent of excavation; construction methodology; structural adequacy; construction traffic management; construction noise; flooding; and protection of Council assets. Following feedback to the Applicant, the DA has been amended to satisfactorily address these issues, subject to the conditions of consent.

In the absence of a development consent for a future building on the site, there is a risk that the proposal could result in a large excavated site within the centre of Bankstown CBD that may result in visual and public safety impacts. However, given the endorsed and proposed strategic planning context, well-progressed statutory planning for the future WSU building and likely short period of time between completion of excavation and construction of a new building, this risk has been assessed to be low.

It is therefore recommended:

*THAT the Sydney South Planning Panel grant Consent to Development Application No. DA 697/2019 for demolition of existing structures, vegetation removal, site excavation and ancillary works at 74 Rickard Road, Bankstown, being Lot 15 DP 1256167 pursuant to Section 4.16(1)(a) of the Environmental Planning and Assessment Act, 1979 subject to the conditions of consent detailed at **Attachment 1** to this report.*

2.0 BACKGROUND

There are three (3) inter-related applications for the site:

- Early Works DA (DA-697/2019) (the subject of this assessment);
- Planning Proposal (PP_2019_CBank_004_00); and
- State Significant Development Application (SSD-9831).

2.1 EARLY WORKS DA

On 6 September 2019, DA-697/2019 (the Early Works DA) was submitted to Council (see details at Section 4.0).

The DA was publicly notified for 21 days between 9 October and 30 October 2019 with no submissions received.

On 26 February 2020, a briefing meeting was held with the SSPP (refer to **Section 6.2.1**).

On 29 April 2020, an amended DA package was submitted to Council. The key amendments included:

- Reduction in the eastern extent of excavation from The Appian Way corridor;
- Reduction in the western extent of the excavation; and
- Maintenance of vehicle access in The Appian Way from Rickard Road during construction (rather than pedestrian only).

On 15 June 2020, a Request for Information (RFI) was issued to the Applicant on a range of assessment issues including:

- Planning;
- Signage;
- Noise;
- Infrastructure and traffic;
- Use of ground anchors;
- Location of layback;
- Stormwater and flooding;
- Urban design;
- Owner's consent; and
- Security bond.

On 29 June 2020, the Applicant submitted additional and amended information in response to the RFI.

On 6 July 2020, Council identified to the Applicant, concerns with the use of Civic Drive for construction traffic. Following this, a meeting was held between the Applicant and Council Officers to discuss construction traffic and location of site sheds. An amended package was submitted to Council on 14 July 2020.

On 17 July 2020, a meeting was held between the Applicant and Council Officers to discuss site establishment and traffic management strategies. Following this meeting, a final package of amended documentation was submitted by the Applicant.

2.2 PLANNING PROPOSAL

On 10 June 2020, the NSW Department of Planning, Industry and Environment (DPIE) determined (Gateway Determination) in accordance with Section 3.34(2) of the EP&A Act that an amendment to the *Bankstown Local Environmental Plan 2015* (the LEP) could proceed subject to conditions. The Planning Proposal seeks to amend the LEP for land at 74 Richard Road and part 375 Chapel Road, Bankstown to:

- Increase the maximum height of buildings from 53m to 83m;
- Increase the maximum floor space ratio (FSR) from 4.5:1 to 8:1; and
- Insert a provision requiring the preservation of appropriate solar access to Paul Keating Park.

The early works DA does not rely on the amendments to the LEP. The Planning Proposal is yet to be publicly exhibited Although Council Officers have advised that the exhibition is imminent and that they anticipate that the Planning Proposal will be gazetted by the end of 2020, noting that Condition 5 of the Gateway Determination identifies that the timeframe for completion of the LEP is 10 months from the date of Gateway Determination (i.e. April 2021).

2.3 STATE SIGNIFICANT DEVELOPMENT

On 24 August 2019, DPIE reissued the Secretary's Environmental Assessment Requirements (SEARs) in relation to the proposed Western Sydney University Bankstown City Campus (SSD-9831). On 24 October 2019, an Environmental Impact Statement (EIS) was submitted to DPIE for the proposed tertiary education facility comprising:

- Two (2) basement levels including car and bicycle parking, loading dock, back-of-house storage and plant equipment;
- Ground floor retail tenancies, shared lobby, multi-purposes spaces, amenities;

- 18 storeys of education, conference and university facilities;
- Landscaped podium terraces and balconies;
- New landscaping and public domain works; and
- New signage.

The SSDA does not include any proposals for demolition, vegetation removal or excavation of the Site. Those works will be reliant upon this Early Works DA.

Following the exhibition of the SSDA, DPIE has requested that the Applicant provide a Response to Submissions (RtS) in accordance with clause 85A of the *Environmental Planning and Assessment Regulation 2000* (EP&A Regulation).

DPIE Officers have advised that it is anticipated that the RtS will be submitted in September 2020. Following the submission of the RtS, the SSDA may need to be re-exhibited. In our experience, an SSDA that relies on a planning proposal is typically not determined by DPIE until that planning proposal has been gazetted. Based on the timeframe outline above for the Planning Proposal the SSDA may not be determined until early 2021.

Notwithstanding, there would be no legal impediment to DPIE approving the SSDA prior to gazettal of the Planning Proposal where that gazettal is considered to be certain and imminent. Accordingly, there is a possibility that the SSDA is determined in late 2020.

3.0 SITE AND LOCALITY DESCRIPTION

The site is located at 74 Rickard Road, Bankstown within Bankstown CBD's Civic Precinct (**Figure 1**). The site is legally described as Lot 15 Deposited Plan (DP) 1256167. The DP was registered on 9 June 2020 and includes an easement benefiting Canterbury Bankstown Council over The Appian Way.

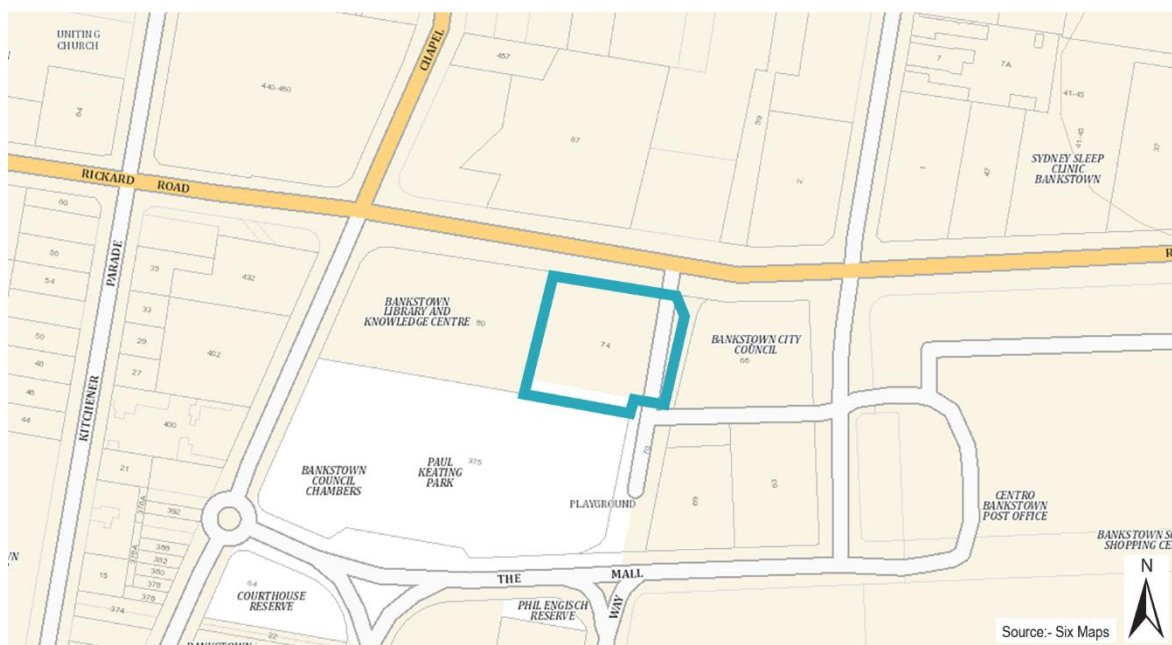


Figure 1: Location Plan

The site is irregularly shaped with an area of 3,678m². The site has a frontage to Rickard Road of 58.62m. The site is relatively flat with a fall of approximately two (2) metre across the site from the north-western corner (RL25.83m) to the south-eastern corner (RL23.8m). The site is currently utilised in part as a timed free public at-grade public carpark with 59 spaces, in part as open space, and part as existing roadway (The Appian Way) (**Figure 2**).

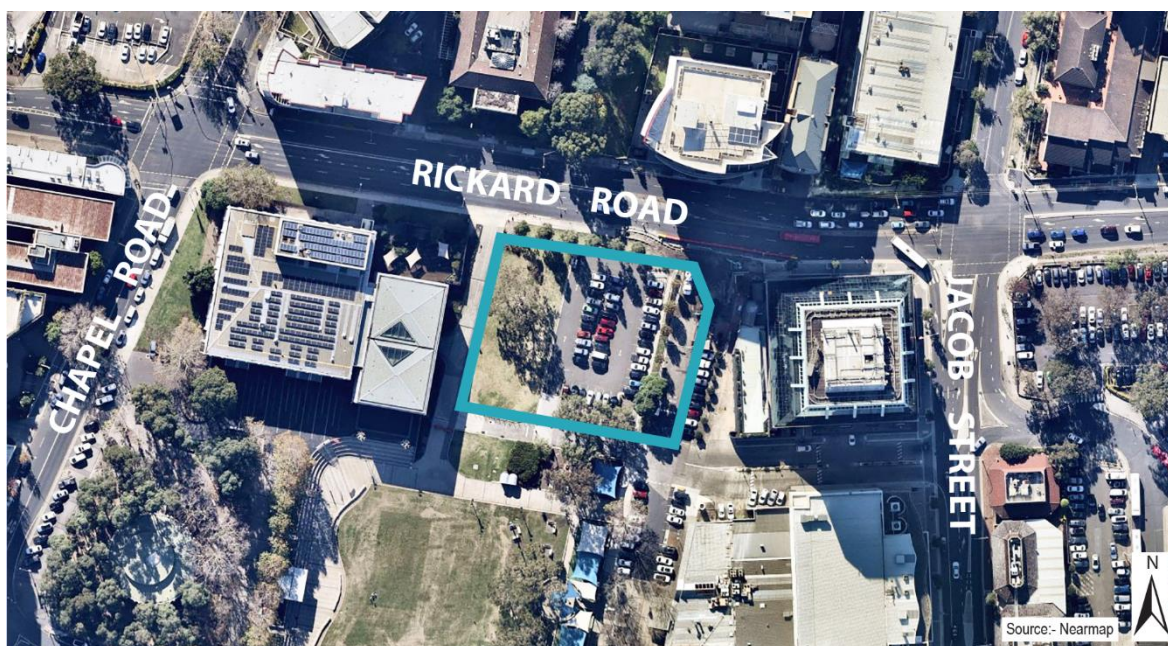


Figure 2: Aerial photograph

North of the site is Rickard Road, with a medical centre, gymnasium and high-density residential development located on the northern side of Rickard Road. Directly to the south of the site is Paul Keating Park. Paul Keating Park provides an important public open space within the Bankstown CBD Civic Precinct and is used for large scale cultural and community celebrations and events. Council is currently developing a master plan for Paul Keating Park to create a vision for its development over the next 20 years.

West of the site is the Bankstown Library and Knowledge Centre (BLaKC) including the 300 seat Bryan Brown Theatre. Bankstown Council Chambers (a local heritage item) is located to the south of the BLaKC within Paul Keating Park.

East of the site is the Bankstown Civic Tower, which is approximately 11 storeys in height and contains Canterbury-Bankstown Council offices, along with commercial offices, Legal Aid NSW and Bankstown Community Services Centre. South-east of the site is the Bankstown Central, which is a large regional shopping centre. There is a bus interchange located on The Mall (south-east of the site), with Bankstown Railway Station (including the proposed Metro Station) and Transport Interchange located approximately 340m to the south of the site.

4.0 PROPOSED DEVELOPMENT

The proposed development comprises early works to facilitate the construction of the WSU Bankstown City Campus. The proposed development comprises:

- Site establishment including establishment of site hoardings (**Figure 3**);
- Demolition of existing improvements including at-grade carpark along with associated signage, lighting and utilities;
- Removal of 21 trees including six (6) street trees along Rickard Road;
- Site excavation to a bulk earthworks level (BEL) of RL 17.38 with an approximate volume of 21,815m³;
- Shoring, including temporary ground anchors (southern, eastern, and northern boundaries only);
- Removal of redundant services and diversion of existing sewer main;
- Service augmentation of sewer, gas and electricity; and

- Maintenance of existing vehicle layback from Rickard Road to The Appian Way, along with maintenance of existing one-way traffic along The Appian Way.

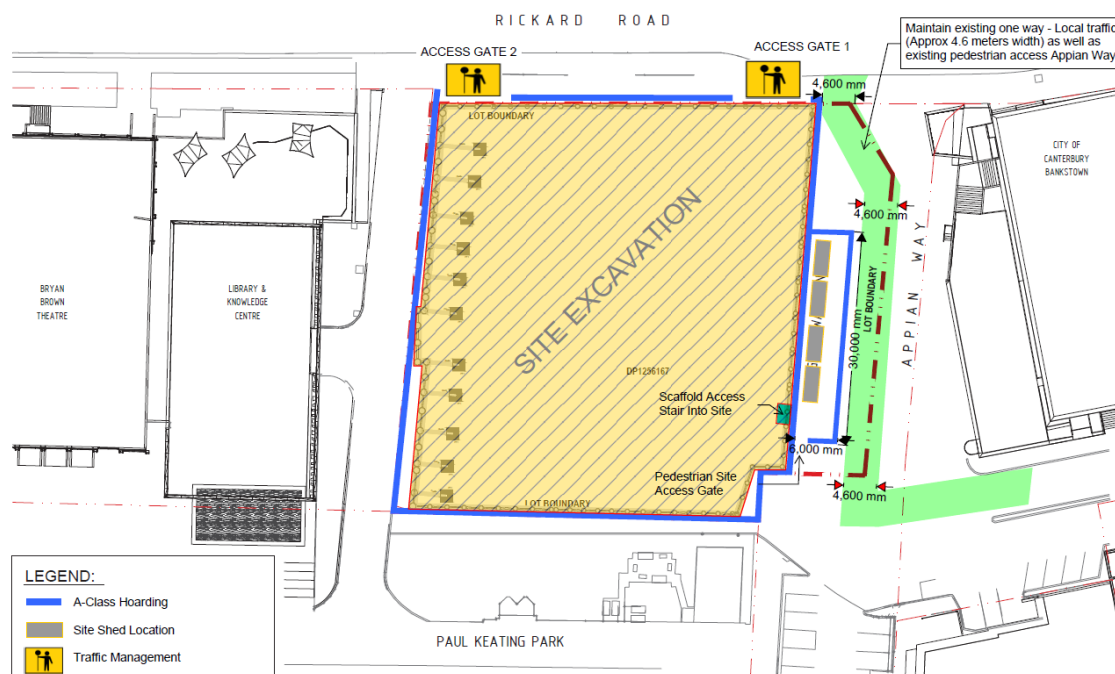


Figure 3: Site Establishment Plan

The proposed works are anticipated to be completed within 15 weeks after commencement onsite.

5.0 CONSULTATION

5.1 INTERNAL

The DA was reviewed internally by Council's Development Engineer, Tree Management Officer, Assets Manager; Infrastructure and Traffic Officer; Public Health and Environment Officer; and Urban Design section. Commentary from these Officers is included in relevant section of the planning assessment within this report.

5.2 EXTERNAL

The application has not been referred externally. It is noted that the Applicant has been issued a Notice of Anticipated Requirements for a Section 73 Compliance Certificate by Sydney Water. A condition of consent has been identified requiring the Applicant to submit the approved plans, including demolition plans to Sydney Water for assessment.

6.0 SECTION 4.15 ASSESSMENT

The proposed development has been assessed pursuant to section 4.15 of the Environmental Planning and Assessment Act 1979 (EP&A Act).

6.1 CROWN DEVELOPMENT

Pursuant to clause 226(1) of the EP&A Regulation, the application is defined as Crown Development as it has been lodged on behalf of an Australian university within the meaning of the *Higher Education Act 2001*.

In accordance with Division 4.6 of the EP&A Act, a consent authority must not refuse a Crown Development Application (except with the approval of the Minister) or impose a condition except with the approval of the Applicant (or the Minister).

A draft set of the conditions were sent to the Applicant on 31 July 2020. On 14 August 2020 correspondence was received from the Applicant confirming that the proposed conditions were acceptable. Notwithstanding, a minor amendment to Condition 39 is proposed as discussed in **Section 6.7.2**.

6.2 ENVIRONMENTAL PLANNING INSTRUMENTS [Section 4.15(1)(a)(i)]

6.2.1 STATE ENVIRONMENTAL PLANNING POLICY (STATE AND REGIONAL DEVELOPMENT) 2011

Pursuant to clause 3 of Schedule 7 of SEPP SRD the proposal is regionally significant development as it is for Council related development with a CIV of more than \$5 million. Under clause 2.15 of the EP&A Act, a Sydney district or regional planning panel functions as the consent authority under Part 4 of the EP&A Act for regionally significant development. Therefore, the SSPP must determine the DA.

A Panel Briefing was held on 26 February 2020. The Panel provided the following response:

In response to this matter, the Sydney South Planning Panel reviewed the briefing notes and note that this application is for an early works package of a SSDA for this site that has yet to be determined. The Panel notes the briefing note has identified a range of significant issues that will need to be resolved and may be influenced or changed as a consequence of the future approval. The Panel also note that owners consent has not been provided for this application.

The Panel Chair acknowledges that while this application will need to be considered by the Sydney South Planning Panel, it does make it difficult for the Panel to do so with confidence when there is no certainty around the outcome of the substantive development application on the site and any conditions of development to inform the Panel's considerations.

The application has been amended to address the range of issues identified in the briefing notes including construction management; construction traffic; depth and extent of excavation and impact on adjoining properties; acoustic impacts; flooding and structural adequacy.

Owner's consent was provided by Canterbury-Bankstown Council in relation to the DA on 6 July 2020.

In response to the issue of the separate substantive DA for building works, the Applicant has indicated that it is aware of the potential risks in relation to the early works DA, in particular in relation to the approval of the early works DA prior to the determination of the SSDA. The Applicant has also indicated that this planning approval pathway strategy, an early works DA followed by a main works DA, has been adopted on previous WSU proposals. Further, the Applicant has provided the following response:

Walker and WSU are committed to delivering a world class university campus on the site, and are confident that an SSDA consent will be obtained.

Approval for Early Works has been sought to facilitate the project's smooth and staged delivery.

Notwithstanding, it is considered that a basement excavation is consistent with any likely, alternate use of this prominent and well located site, which is zoned Mixed Use 4(b), should the university campus not proceed.

For the benefit of the Panel, we have investigated the circumstances of the example of the Western Sydney University Innovation Hub at 2-6 Hassall Street, Parramatta and the following summarises pertinent facts in regard to that project:

- DA/714/2018 “Demolition of existing structures, tree removal and archaeological investigations” - Lodged on 12 October 2018 and approved under delegation by City of Parramatta Council Officers on 18 December 2018;
- DA/66/2019 “Early works for bulk excavation, shoring and piling works to create a basement level and lift pit” - Lodged on 4 February 2019 and approved under delegation by City of Parramatta Council Officers on 5 July 2019; and
- SSDA-9670 “Construction of a 19-storey mixed use building incorporating education uses for Western Sydney University, commercial and retail uses. The proposal also includes landscaping, public domain, services augmentation and infrastructure works.” Approved by DPIE under delegation on 21 November 2019 (i.e. after the early works DA).

The Western Sydney University Innovation Hub is currently under construction.

We have provided further commentary in regard to the matter of approving the subject DA prior to SSDA9831 at **Section 6.7.2** of this report.

6.2.2 STATE ENVIRONMENTAL PLANNING POLICY NO 19 – BUSHLAND IN URBAN AREAS

SEPP 19 protects and preserves bushland within specified urban areas, as part of the natural heritage or for recreational, educational and scientific purposes. SEPP 19 is designed to protect bushland in public open space zones and reservations, and to ensure that bush preservation is given a high priority where new urban development takes place.

Clause 9(2) applies to land which adjoins bushland zone or reserved for public open purposes as Paul Keating Park to the south of the site is zoned RE1 Public Recreation under the LEP. Prior to granting development consent, the consent authority must take into account:

- (c) *the need to retain any bushland on the land,*
- (d) *the effect of the proposed development on bushland zoned or reserved for public open space purposes and, in particular, on the erosion of soils, the siltation of streams and waterways and the spread of weeds and exotic plants within the bushland, and*
- (e) *any other matters which, in the opinion of the approving or consent authority, are relevant to the protection and preservation of bushland zoned or reserved for public open space purposes.*

In regard, to Clause 9(2)(c), there is no bushland located on the adjacent RE1 land. In relation to Clause 9(2)(d), erosion and sedimentation measures are to be installed as part of the development to minimise any adverse impacts from the erosion of soils, siltation of streams and waterways and the spread of weeds and other exotic plants within the adjoining public open space. In response to Clause 9(2)(e), there are no other matters considered relevant in this instance.

6.2.3 STATE ENVIRONMENTAL PLANNING POLICY NO. 55 – REMEDIATION OF LAND

Clause 7 of SEPP 55 requires the consent authority to consider whether the development site is contaminated and, if it is, whether it is suitable for the proposed development either in its contaminated state or following remediation works.

A Detailed Site Investigation (DSI) was submitted as part of the application. The DSI has evaluated the suitability of the site for the proposed development and provides recommendations for works on the site.

The site has been previously used for residential and commercial land uses. Since 2003, the site has been used as a Council car park.

Soil and groundwater samples were taken from twelve boreholes across the site to assess the site's contamination status. Based on the laboratory analysed samples, all contamination

concentrations were below the adopted site assessment criteria (SAC), established with reference to current NSW EPA guidelines and SEPP 55 guidelines.

The DSI concluded that the site is suitable for the proposed future use of the site as an educational establishment. Council's Public Health and Environment Officer has reviewed the DSI and identified that the following conditions are to be included in any approval:

- An Unexpected Finds Protocol must be prepared to address the discovery of unexpected contaminants in soil which may be encountered during excavation and/or construction works. This Unexpected Finds Protocol must be prepared by an appropriately qualified and experienced environmental consultant and be submitted prior to the commencement of works.

If unexpected contaminants are encountered during excavation and/or construction works, this situation must then be managed by implementing the approved Unexpected Finds Protocol.

- All excavations must be kept free from the accumulation of water.
- Any soils to be excavated and disposed of from the site must be analysed and classified by a suitably qualified environmental consultant, in accordance with relevant NSW EPA guidelines including the 'Waste Classification Guidelines' (NSW EPA, 2014) prior to off-site disposal.

Any waste material is to be transported to an appropriately licensed waste facility by an EPA licensed waste contractor in accordance with relevant NSW EPA guidelines.

6.2.4 STATE ENVIRONMENT PLANNING POLICY (VEGETATION IN NON-RURAL AREAS) 2017

State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 (SEPP Vegetation) applies to all land within the Canterbury Bankstown LGA and accordingly, applies to the site. Under Part 3 of the SEPP, Council can issue permits for the clearing of vegetation in non-rural areas in accordance with the requirements of a development control plan.

Part B11 Tree Management Order of the DCP prescribes the trees and vegetation which may be removed without Council approval. The proposal includes the removal of trees that are not exempt under the DCP and accordingly development consent is required (see Section 6.4.1).

6.2.5 GREATER METROPOLITAN REGIONAL ENVIRONMENTAL PLAN No 2 – GEORGES RIVER CATCHMENT

The site is located on land to which the *Greater Metropolitan Regional Environmental Plan No. 2 – Georges River Catchment* (GMREP No. 2) applies. The proposed early works development are consistent with the relevant planning principles outlined in cl8-9 of the GMREP No. 2 as it is unlikely to have any significant detrimental impacts on soil and water quality, riparian vegetation or flooding.

Furthermore, the proposed development does not include any of the listed development types identified under clause 11 'planning control table' and therefore, requires no further assessment in that regard.

6.2.6 BANKSTOWN LOCAL ENVIRONMENTAL PLAN 2015

The relevant provisions of the LEP are addressed as follows:

Clause 2.2 Zoning and Clause 2.3 Zone Objectives and Land Use Table

The site is within the B4 Mixed Use Zone under the LEP.. The proposed development will facilitate the future development of the site for an "Educational Establishment" and "commercial premises", which are permitted with consent in the B4 Zone.

The objectives of the B4 zone are as follows:

- *To provide a mixture of compatible land uses.*
- *To integrate suitable business, office, residential, retail and other development in accessible locations so as to maximise public transport patronage and encourage walking and cycling.*
- *To maintain the role of the Bankstown CBD as a major metropolitan centre.*

The proposed development will facilitate a future development for a university campus within Bankstown CBD, which is likely to support the continuing growth and activation of the CBD and contribute to the mix of cultural, civic and community uses. The site is also located in close proximity to Bankstown Railway Station and associated bus interchange.

Accordingly, the proposed development is not inconsistent with the objectives of the B4 Zone.

Clause 2.7 Demolition requires development consent

The proposal seeks consent for the demolition of the existing improvements on site and subject to conditions of consent, these demolition works are acceptable.

Clause 5.10 Heritage conservation

The site is not identified as a heritage item nor is it located within a heritage conservation area under the LEP. Notwithstanding, the site is located within the vicinity of a local heritage item (Item I6 "Council Chambers", 375 Chapel Road, Bankstown) identified under Schedule 5 of the LEP. The heritage item is located to south-west of the site with Paul Keating Park.

A Heritage Impact Statement (HIS) prepared in accordance with clause 5.10(5) of the LEP was submitted as part of the application. The HIS assesses the impact of the proposed early works development on the significance of the Council Chambers. The HIS concludes that:

- The proposed early works are located outside of the identified curtilage of the heritage item.
- The proposed works are minor and the improvements to be demolished do not make a contribution to the significance of the heritage item.
- The site hoardings and site sheds are temporary and do not have a permanent impact on the setting of the heritage item.

Therefore, it is considered that the proposed early works are acceptable from a heritage perspective.

Clause 6.2 Earthworks

The proposed development includes excavation to level of RL 17.38m, with an approximate volume of cut of 21,815m³. The proposed excavation is required to facilitate the future basement for the WSU Bankstown City Campus building.

The Applicant has provided advice from geotechnical, civil and structural engineers in relation to the proposed development. During the assessment, Council officers raised the following concerns regarding the extent and depth of excavation; structural integrity and use of ground anchors; and potential impacts on adjoining Council and infrastructure assets.

It is noted that the following existing infrastructure is located in close proximity to the site:

- North: Major drainage infrastructure and services including water, power, sewer;
- West: Council's geothermal bores providing energy for the BLaKC;

- South: Council's concrete stormwater and recycling water tanks along with a services easement; and
- East: Two Sydney Water trunk stormwater drainage concrete culverts.

Following discussions with Council, the Applicant amended the extent of excavation required to within the development site only. Ground anchors are to be installed along the northern, eastern and southern site boundaries only. No ground anchors are to be installed on the western boundary in proximity to Council's geothermal bores. A condition of consent has been recommended requiring that prior to any works occurring on site the Applicant pay a bond to ensure the protection of Council's assets.

Subject to the conditions of consent (**Attachment 1**), the proposed early works development satisfies the requirements of clause 6.2(3) as it will not result in significant adverse impacts in regard to contamination, drainage patterns, soil stability, waterways, drinking water catchments, environmentally sensitive land, future land uses and the amenity of adjoining properties.

Clause 6.3 Flood planning

The site is located within the Salt Pan Creek catchment and has been identified as being affected by stormwater overland flooding in the 100 year ARI (average recurrence interval) event. The Civil Design Report notes that:

In relation to the flood strategy of the subject site, the upstream catchment falls to a local sag kerb inlet pit within the layback on Rickard Road at the entrance to Appian Way. It is assumed to be connected to a 2.4m x 1.22m (H) culvert which runs down Appian Way. In major storms, flood waters overtop the pit inlet and kerb crest mentioned above and flows down Appian way towards Bankstown Station. Parts of the overland flows are captured by a series of pit and pipe network further south of the site which are assumed to also be connected to the 2.4mx1.22m culvert.

The Civil Design Report also noted that the excavation would provide temporary flood storage. Therefore, it is considered that the proposed development will not adversely affect existing flood behaviour.

Council's Development Engineers raised concerns during the assessment in relation to flood emergency response plans and the design of hoardings. In response, the Applicant has amended the application so that in the event of a large rainfall event, the flood assembly emergency point is within the forecourt of the BLaKC. The evacuation route is located along the existing BLaKC driveway. In addition, the proposed site hoardings will have a minimum of 300-500mm mesh openings so that they do not disrupt the overland flow path.

Subject to the conditions of consent (Attachment 1), it is therefore considered that the proposed development satisfies the requirements of clause 6.3(3) of the LEP as the proposed development is compatible with the flood hazard of the land and will not adversely affect flood behaviour. The development incorporates appropriate measures to manage risk to life from flood and will not result in adverse environmental impacts due to erosion, siltation, destruction of riparian vegetation or reduction in the stability of river banks or watercourses. The development is not likely to result in unsustainable social and economic costs to the community as a consequence of flooding.

Clause 6.9 Restrictions on development in Zone B4

The site is identified as "Area 3" on the Special Provisions map under the LEP. As the proposed development does not consist of the erection of a building or change of use of a building, clause 6.9 does not apply to the development.

6.3 DRAFT ENVIRONMENTAL PLANNING INSTRUMENTS [Section 4.15(1)(a)(ii)]

6.3.1 DRAFT STATE ENVIRONMENTAL PLANNING POLICY (REMEDIATION)

The draft State Environmental Planning Policy (Remediation) was publicly exhibited by DPIE between 1 January and 13 April 2018. It is proposed that the new Remediation SEPP will:

- Provide a site-wide planning framework for the remediation of land, maintain the objectives and reinforce those aspects of the existing framework that have worked well;
- Require planning authorities to consider the potential for land to be contaminated when determining development applications and land rezonings;
- Clearly list the remediation works that require development consent; and
- Introduce certification and operational requirements for remediation works that can be undertaken within development consent.

It is considered that the assessment of the proposed development in Section 6.2.2 satisfactorily considers the relevant matters and that the proposal is acceptable in this regard.

6.3.2 DRAFT STATEMENT ENVIRONMENTAL PLANNING POLICY (ENVIRONMENT)

DPIE exhibited the proposed SEPP between 31 October 2017 and 31 January 2018. The draft Environment SEPP seeks to protect and manage the natural environment and proposes to simplify the planning rules for a number of water catchments, waterways, urban bushland, and Willandra Lakes World Heritage Property. The draft Environment SEPP will consolidate seven (7) existing SEPPs including SEPP 19 and GMREP No. 2.

It is considered that the previous assessment against the GMREP No. 2 satisfactorily considers all relevant matters and the proposed early works development is acceptable in this regard.

6.3.3 DRAFT CANTERBURY BANKSTOWN CONSOLIDATED LOCAL ENVIRONMENTAL PLAN

The draft *Canterbury Bankstown Consolidated Local Environmental Plan* (draft Consolidated LEP) received gateway determination under section 3.34(2) of the EP&A Act on 20 February 2020. Following receipt of the gateway determination, the Canterbury Bankstown Local Planning Panel endorsed the draft Consolidated LEP for public exhibition on 6 March 2020. The draft Consolidated LEP was publicly exhibited in accordance with the requirements of the gateway determination between March and May 2020.

Intended Outcomes

The intended outcomes of the draft Consolidated LEP is to:

- Combine and harmonise the *Bankstown Local Environmental Plan 2015* and *Canterbury Local Environmental Plan 2012* into a Consolidated Local Environmental Plan to produce a single set of planning rules for the Canterbury Bankstown Local Government Area.
- Implement key actions of current land use strategies to:
 - Change zones and building envelopes in parts of the centres in Greenacre, Padstow, Revesby, Yagoona, Birrong, Condell Park, East Hills, Panania, Regents Park and certain neighbourhood centre.
 - Change zones and building envelopes at key development sites along main roads and other employment lands.
 - Better reflect the existing use of the Kelso Waste Precinct.
 - Protect existing local open space and biodiversity.
 - Achieve better standards of design quality and sustainability across Canterbury Bankstown.

Zoning

The draft Consolidated LEP combines and harmonises the zone objectives for the B4 Mixed Use as follows:

- *To provide a mixture of compatible land uses.*
- *To integrate suitable business, office, residential, retail and other development in accessible locations so as to maximise public transport patronage and encourage walking and cycling.*
- *To reinforce and strengthen the role of the Bankstown CBD as a major metropolitan centre.*
- *To allow for the development of land uses that achieve a high standard of urban and landscape design and have regard to local amenity.*

The proposed early works development is not inconsistent with the proposed zone objectives as it will facilitate the development of WSU Bankstown City Campus.

Part 4 Principal Development Standards

There are no changes the principle development standards of the site proposed under the draft Consolidated LEP (refer to **Section 6.3.3**).

Clause 6.4 Design Quality

The draft Consolidated LEP introduces clause 6.14 Design Quality that states (subject to legal drafting):

- (1) *The objective of this clause is to ensure that development achieves good urban design and supports quality places for people.*
- (2) *This clause applies to the following development: residential flat buildings, multi dwelling housing, boarding houses, seniors living, mixed use development, shop top housing, commercial premises, industrial buildings, warehouse or distribution centres, centre-based child care facilities, schools, places of worship, registered clubs, community facilities, in relation to:*
 - *the erection of a new building, or*
 - *in the Council's opinion, significant alterations or additions that are visible from the public domain.*
- (3) *Before granting consent for development, the consent authority must have regard to the following matters, to the extent it considers them relevant to the proposed development:*
 - (a) *whether the development positively contributes to the urban context and site conditions in terms of natural features, built form, streetscape, street wall height, building separation, setbacks, amenity, building bulk and modulation,*
 - (b) *whether the development positively contributes to the quality and amenity of the public domain in terms of landscaping, passive surveillance, visual interest and the interface of public and private domain,*
 - (c) *whether the development uses external materials that are good quality, durable and low-maintenance,*
 - (d) *whether the development achieves a high standard of architectural detailing and colours that are appropriate to the building type and location,*
 - (e) *whether the development achieves the principles of ecologically sustainable development,*
 - (f) *whether the development achieves internal layouts that are functional, efficient and fit for purpose,*

(g) whether the development integrates a high quality landscape design with the built form,

(h) how the development satisfactorily addresses the following matters:

- impacts on heritage items, heritage conservation areas or historically significant buildings on the site or in the vicinity of the site,
- environmental impacts such as solar access, visual and acoustic privacy, wind, reflectivity, urban heat and water sensitive urban design,
- pedestrian, cycle, vehicular and service access and circulation requirements,
- the integration of waste management infrastructure in the site layout and building design.

The proposed early works development is not inconsistent with clause 6.14 of the draft Consolidated LEP as it does not include the erection of any buildings.

6.3.4 PLANNING PROPOSAL

As noted in **Section 2.3**, on 10 June 2020 a Planning Proposal for the site to amend the LEP received Gateway Determination under section 3.34(2) of the EP&A Act. The Planning Proposal seeks to:

- Permit a maximum Floor Space Ratio of 8:1;
- Permit a maximum building height of 83m; and
- Insert a provision to provide appropriate solar access to Paul Keating Park as follows (subject to legal drafting):

Development must allow for 4 hours of continuous solar access to a consolidated area of Paul Keating Park between 10am and 3pm on 21 June (inclusive of existing shadow). The size of the consolidated area must be a minimum 50% of the area of Paul Keating Park (not including the building footprint of the Council Chambers).

The following table provides a comparison between the LEP, the draft Consolidated LEP and the Planning Proposal.

	Bankstown LEP 2015	Draft Consolidated LEP	Planning Proposal
Land Zoning	B4 Mixed Use	B4 Mixed Use	B4 Mixed Use
Height of Buildings	53m	53m	83m
Floor Space Ratio	4.5:1	4.5:1	8:1
Special Provisions	Area 3	Area 3	Area 3 4 hours continuous solar access to Paul Keating Park (mid-winter)

The early works DA does not rely on the Planning Proposal for the purposes of permissibility.

6.4 DEVELOPMENT CONTROL PLAN [Section 4.15(1)(a)(iii)]

6.4.1 BANKSTOWN DEVELOPMENT CONTROL PLAN 2015

Part A1 – Centres

The site is located within the Northern CBD Core Precinct within Bankstown CBD. The desired future character identified for the Northern CBD Core Precinct is as follows:

The Northern CBD Core precinct is located to the immediate north of the railway line. The Civic Precinct and Paul Keating Park form the central focus, and the established character is distinctly commercial due to a concentration of major civic, office and retail buildings (namely Bankstown City Council, Bankstown Court House, Bankstown Police Area Command, Compass Centre and Bankstown Central, which is a regional shopping centre).

This precinct is highly accessible to the railway station and bus interchange, and as a result, this precinct is characterised by taller buildings and higher densities compared to other precincts.

The desired character is to have the Northern CBD Core precinct continue to function as the heart of the City of Bankstown, with a mix of retail and commercial activities on the ground and first floors, and high density living above. Development will generally be in the form of tall buildings to create an identifiable skyline image for the Bankstown CBD. The tallest buildings will generally locate around Paul Keating Park to define the Civic Precinct and to take advantage of the amenity provided by the park.

The proposed development does not impede the attainment of this desired future character..

Part B11 – Tree Management Order

A total of 23 trees were identified as potentially impacted by the early works, with 21 trees required to be removed to facilitate the proposed development. This includes the removal of six (6) street trees along Rickard Road, which are required to be removed to facilitate construction vehicle access to the site. The DA is accompanied by an Arborist Report that identifies the landscape significance of the trees and the impact of the development on each of the trees. Two trees located to the south of the site within Paul Keating Park will be retained and protected during the works.

The DA notes that the proposed WSU Bankstown City Campus development will provide for offset planting including new trees along Rickard Road and Appian Way along with new landscaping on the proposed WSU building podiums and terraces. However, it is noted that the SSDA is still under assessment and the extent of new landscaping in relation to the SSDA may be amended. Therefore, a condition of consent has been identified requiring the Applicant to plant replacement trees (minimum 75L pot size) along the Rickard Road street frontage (**Attachment 1**).

Part B12 – Flood Risk Management

As noted in **Section 6.2.5**, the site is subject to overland flow path and the proposed development has been assessed as being satisfactory with regard to the provisions of the LEP and the provisions of Part B12 of the DCP.

Part B13 – Waste Management and Minimisation

The proposed early works DA requires the removal of approximately 21,815m³ of excavated material from the site. Any soils to be excavated and disposed of from the site must be analysed and classified by a suitably qualified environmental consultant, in accordance with relevant NSW EPA guidelines including the 'Waste Classification Guidelines' (NSW EPA, 2014) prior to off-site disposal. Any waste material is to be transported to an appropriately licensed waste facility by an EPA licensed waste contractor in accordance with relevant NSW EPA guidelines.

6.4.2 DEVELOPMENT CONTRIBUTIONS

The site is subject to the Section 94A Development Contributions Plan - Bankstown, which applies to development within the former Bankstown LGA and lodged prior to 8 January 2020 . Under the Section 94A Development Contributions Plan – Bankstown, development (other than residential) is subject to a condition requiring the payment of a levy under section 7.12 (formerly section 94A) of the EP&A Act.

Whilst the application is a Crown DA, the applicant has agreed to a condition requiring the payment of a Section 7.12 levy.

6.5 PLANNING AGREEMENT [Section 4.15(1)(a)(iiia)]

There are no planning agreements entered into or any draft agreements offered to be entered into under section 7.4 of the EP&A Act.

6.6 REGULATIONS [Section 4.15(1)(a)(iv)]

The proposed development is not inconsistent with the relevant provisions of the EP&A Regulations including clauses 92, 93, 94 and 94A.

6.7 LIKELY IMPACTS OF THE DEVELOPMENT [Section 4.15(1)(b)]

The likely impacts of the development including tree removal; contamination; heritage impacts; stormwater and flooding; land stability; and groundwater have been addressed elsewhere in this report.

6.7.1 CONSTRUCTION AND EXCAVATION MANAGEMENT

General

A Preliminary Construction Management Plan has prepared by the Applicant, which describes various measures that can be undertaken to minimise the potential impacts of the excavation works including:

- Environmental management measures (e.g. dust, erosion and sedimentation control, hazardous materials, truck wash, noise mitigation strategy and tree protection);
- Location of works zones, materials handling areas, site shed locations, waste storage and removal;
- Pedestrian management;
- Traffic management (refer to discussion below);
- Hours of work and access;
- Protection of existing buildings and assets; and
- Emergency Evacuation.

Conditions of development consent have been identified requiring the preparation of a Site Operations Management Plan (SOMP) that must address the measures that will be implemented for the ongoing management of operations on and around the construction site, the protection of adjoining properties and other construction management issues.

Construction Traffic

A Construction Traffic Management Strategy has been developed by the Applicant, which identifies construction traffic routes to and from the site, along with the identification of appropriate truck marshalling and mustering locations outside of the Bankstown CBD.

Conditions of consent have been prepared requiring the preparation of a Site, Pedestrian and Traffic Management Plan (SPTMP) including the following requirements:

- Maintenance of existing one-way traffic and pedestrian access along The Appian Way;
- No construction vehicles will be permitted to use the driveway servicing the BLaKC or to use The Appian Way or Civic Drive;
- All construction vehicles will access the site from Rickard Road;
- Transportation to and from the development site shall generally be by the shortest route possible to the nearest "state road" via "regional roads";

- Trucks are not permitted to use Chapel Road (between French Avenue and the Hume Highway) between the hours of 8:00am and 9:30am and 2:30pm and 4:00pm on school days; and
- Trucks travelling from the identified marshalling area shall do so via state roads.

Construction Noise and Vibration

The proposed excavation may include noise intrusive activities such as excavation; piling; rock breaking; and construction vehicle movement. The site is located adjacent to the BLaKC and opposite residential properties. No demolition or excavation works are to exceed noise levels of 75dBA, which is identified as a “highly noise affected management level”. The proposed hoardings will provide some noise mitigation. Other noise mitigation outlined in the *NSW Interim Construction Noise Guidelines* and *Australian Standards 2436-2010* are to be implemented along with the following measures:

- Avoid unnecessary revving of engines and turn off plant that is not being used/required.
- Where possible organise the site so that delivery trucks and haulage trucks only drive forward to avoid the use of reversing alarms.
- Where possible, avoid using tonal reverse alarm outside standard construction hours.
- Organise and schedule the equipment operations to limit the noisiest machines operating simultaneously.
- Site set up/ movement of plant / delivery of material/ waste removal to site should generally be restricted to day time period.
- Truck drivers are to be informed of site access routes, acceptable delivery hours and must minimise extended periods of engine idling.
- Ensure there is no unnecessary shouting or loud stereo/radios on site. There must be no dropping of metal from heights, throwing of metal items or slamming of doors.
- Use less noise intensive equipment where reasonable and feasible.
- Locate temporary plant as far away from sensitive receivers as possible.
- Undertake noise and vibration monitoring.
- Facilitate complaints management.

6.7.2 VISUAL AND PUBLIC SAFETY IMPACTS

As identified at the Panel briefing meeting, this development application is to be considered by the SSPP prior to the determination of the SSDA and accordingly, the final future built form outcome for the site is not certain. Accordingly, there is potential for adverse visual and public safety impacts should the proposed application for the erection of structures on the site be refused or significantly delayed beyond the timeframes outlined herein. The adverse impacts may arise as a consequence of the potential for a large excavated site with hoardings and other temporary structures existing for an undefined period within the centre of the Bankstown CBD.

In the context of this application, it is considered that there is a low risk that the Planning Proposal or SSDA will be significantly delayed as follows:

- It is anticipated that the demolition and excavation works will take approximately 15 weeks (4-5 months) and that this timeframe is generally consistent with the anticipated timing of the gazettal of the LEP and the determination of the SSDA by the end of 2020 or in early 2021;

- The proposed planning proposal has been assessed by DPIE as having strategic merit and is consistent with DPIE and Council strategic planning documents including:
 - Greater Sydney Region Plan including the Bankstown Collaboration Area;
 - South District Plan Planning Priorities;
 - Canterbury-Bankstown Local Strategic Planning Statement;
 - Council's Employment Lands Strategy; and
 - Council's Housing Strategy (which encourages student accommodation in the town centre to support the relocation of UWS from Milperra to the Bankstown CBD).
- WSU have committed to relocating their Milperra campus to Bankstown CBD. This includes lodging a Planning Proposal to rezone the Milperra campus for residential purposes; and
- WSU have committed to opening the WSU Bankstown City Campus by February 2022.

Notwithstanding that there is a low risk that the site may be left in an excavated state without the commencement of above ground building works for a short period of time, it is recommended that a condition (Condition 39) be imposed to require replacement tree planting on Rickard Road within 12 months of the completion of the excavation works. This is to ensure that, should there be a lengthier delay than anticipated, replacement tree plantings can be enforced under this DA.

6.8 SUITABILITY OF THE SITE [Section 4.15(1)(c)]

Pursuant to section 4.15(1)(c) of the EP&A Act, the site is considered to be suitable for the form of development which the proposal seeks to facilitate and it is acknowledged that any future development of the site is likely to require excavation to provide basement car parking and ancillary infrastructure.

6.9 SUBMISSIONS [Section 4.15(1)(d)]

The application was notified for a period of 21 days. No submissions were received with respect to the proposed development.

6.10 PUBLIC INTEREST [Section 4.15(1)(e)]

In accordance with section 4.15(1)(e) of the EP&A Act, the consent authority is required to consider whether the proposed development is in the public interest.

The public interest is an overarching requirement which includes consideration of the matters discussed in this report. Implicit to the public interest is whether the proposed development adequately responds to and respects the desired future outcomes expressed in the relevant EPIs, DCP and whether on balance, the impacts of the development can be appropriately mitigated or managed.

Notwithstanding that there is a risk that the subject DA could result in a situation where excavation occurs without a future building being constructed shortly thereafter, that risk has been assessed as low and the proposed early works development will facilitate the timely construction of the future WSU Bankstown City Campus. Furthermore, there have been no submissions opposing the proposed development and accordingly, the proposal is considered to be in the public interest.

7.0 CONCLUSION

The proposed development for demolition, tree removal and site excavation has been assessed against the relevant provisions of *State Environmental Planning Policy (State and Regional Development) 2011*; *State Environmental Planning Policy No. 19 – Bushland in Urban Areas*; *State Environmental Planning Policy No. 55 – Remediation of Land*; *Greater Metropolitan Regional Environmental Plan No 2 – Georges River Catchment*; *Bankstown Local Environmental Plan 2015*; and *Bankstown Development Control Plan 2015*.

The proposed development has also been assessed against the relevant draft Environmental Planning Instruments including the draft Canterbury Bankstown Consolidated Local Environmental Plan. The assessment concludes that the proposed development is consistent with the relevant planning controls.

The DA has been amended by the Applicant to satisfactorily address the issues raised by Council including extent of excavation; construction methodology and use of ground anchors; construction traffic management; flooding; and protection of Council assets.

Whilst there is a risk that the subject DA could result in a situation where excavation occurs without a future building being constructed shortly thereafter, that risk has been assessed as low.

It is therefore recommended:

*THAT the Sydney South Planning Panel grant Consent to Development Application No. DA 697/2019 for demolition of existing structures, vegetation removal, site excavation and ancillary works at 74 Rickard Road, Bankstown, being Lot 15 DP 1256167 pursuant to Section 4.16(1)(a) of the Environmental Planning and Assessment Act, 1979 subject to the conditions of consent detailed at **Attachment 1** to this report.*



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ATTACHMENT I

**WSU PROPOSED BANKSTOWN CAMPUS
DRAFT CONDITIONS OF CONSENT – EARLY WORKS DA 697 - 2109**

- 1) The proposal shall comply with the conditions of this Development Consent.
- 2) Development shall take place in generally in accordance with Development Application No. DA-697/2019, submitted by Western Sydney University, accompanied by the drawings and document as listed in the table below, and affixed with Council's approval stamp, except where otherwise altered by the specific amendments listed hereunder and/or except where otherwise amended by the conditions contained in this approval.

Drawing / Document Title	Rev	Dated	Prepared by
<i>'Statement of Environmental Effects Western Sydney University Bankstown City Campus Early Works', Figure 1 to Figure 24, Picture 1 to Picture 6 and Table 1 to Table 5</i>	1	3 Sept. 2019	Urbis Pty Ltd
<i>UW04 DAEW – 01 Site Analysis Plan</i>	1	12 Aug 2019	Lyons
<i>UW04 DAEW - 03 Demolition Plan</i>	2	14 April 2020	Lyons
<i>Bankstown City Campus Development Hazardous Building Materials Register</i>	0	13 May 2019	Douglas Partners
<i>Heritage Impact Statement Western Sydney University Bankstown City Campus Early Works'</i>	1	28 Aug 2019	Urbis Pty Ltd
<i>Quantity Surveyor Certificate of Cost</i>		10 July 2019	RLB
<i>Services Plan</i>	D	22 Aug 2019	RPS
<i>Service Protection Report</i>	2	27 Aug 2019	MGP
<i>Sewer Deviation Plan (Sheets 1, 2 & 3) 177945WW</i>		1 April 2019	Sydney Water
<i>Western Sydney University Bankstown City Campus Structural Report Early Works'</i>	1	23 Aug 2019	Bonacci
<i>M 18056 LA-00-050 Tree Removal Plan</i>	1	19 Aug 2019	Aspect
<i>Western Sydney University Bankstown City Campus Projects Utilities Report</i>	4	24 June 2020	NDY
<i>Arborist Report – New WSU Bankstown City</i>	2	11 June 2019	Ecological

Drawing / Document Title	Rev	Dated	Prepared by
<i>Campus</i>			
<i>C01-01 Early Works Drawing Register & Construction Notes</i>	4	17 April 2020	Bonacci
<i>C01-05 Early Works Sediment & Erosion Control Plan</i>	4	17 April 2020	Bonacci
<i>C01-06 Early Works Sediment & Erosion Control Details</i>	4	17 April 2020	Bonacci
<i>C01-10 Early Works Bulk Earthworks Plan</i>	5	24 April 2020	Bonacci
<i>C01-20 Early Works Bulk Earthworks Longitudinal Sections Sheet 1</i>	5	24 April 2020	Bonacci
<i>C01-21 Early Works Bulk Earthworks Longitudinal Sections Sheet 2</i>	5	24 April 2020	Bonacci
<i>C01-41 Early Works Siteworks Plan</i>	4	17 April 2020	Bonacci
<i>C01-65 Early Works Council Standard Layback Detail</i>	4	17 April 2020	Bonacci
<i>WSU Bankstown City Campus Development – Civil Design Report - Early Works</i>	6	25 June 2020	Bonacci
<i>WSU Bankstown City Campus Development – Preliminary Construction Management Plan</i>		29 April 2020	Walker Corporation
<i>WSU Bankstown City Campus Development – Early Works Preliminary Construction Pedestrian Traffic Management Plan</i>	B	26 June 2020	Arup
<i>WSU Bankstown City Campus Early Works - Traffic Management Strategy</i>		17 July 2020	Walker Corporation
<i>WSU Bankstown Early Works Site Establishment Plan, Drawing Number Bankstown WSU</i>		17 July 2020	Walker Corporation
<i>'Truck Marshalling / Mustering Area Diagram' (3 sheets)</i>		Submitted 14 July 2020	Walker Corporation
<i>'Report on Detailed Site Investigation'</i>	3	14 May 2019	Douglas Partners
<i>'Report on Geotechnical Investigation'</i>	0	13 August	Douglas

		2018	Partners
<i>'Acoustic Services – Early Works DA'</i>	1	30 August 2019	NDY
<i>'Consultant Advice (Acoustics – Response to Canterbury Bankstown Comments for Rev. DA submission)</i>	N/A	26 June 2020	NDY

- a) Ground anchors are permitted on the southern, eastern and northern boundaries and shall be at a minimum depth of 2.5m below the adjacent ground level. Ground anchors are not be installed on the western boundary of the site. The ground anchors shall be installed in reference to the following drawings – 'Shoring Plans', prepared by TTW, Job No 191530 Drawing No S1001 P2, S1011 P2 and S1031 P2. The final shoring plan for this development shall be approved by Council.
- b) The extent of the footprint of the excavation is generally within the 'site excavation' as shown shaded on the plan referenced *'WSU Bankstown – Early Works Site Establishment Plan'* as prepared by Walker Corporation Pty Ltd dated 17 July 2020 referenced as Drawing Number *'Bankstown WSU'*. The footprint of the excavation and supporting structures shall be wholly contained within the development site.

CONDITIONS TO BE SATISFIED PRIOR TO WORKS COMMENCING ON SITE

- 3) The Certifying Authority must ensure that any certified plans are not inconsistent with this Development Consent and accompanying plans.
- 4) Approval in accordance with Council's Tree Preservation Order (TPO) is granted to lop or remove only the trees identified to be lopped or removed on the approved plans. Separate approval shall be obtained to prune or remove trees on adjoining properties or other trees located on the site. Failure to comply with Council's TPO may result in a fine of up to \$100,000.
- 5) A soil erosion and sediment control plan must be prepared by a suitably qualified professional, in accordance with the Bankstown Demolition and Construction Guidelines and Council's Development Engineering Standards.
- 6) The Council approved plans, including demolition plans, must be submitted to Sydney Water for assessment. This will determine if the proposed development would affect any Sydney Water infrastructure or if there are additional requirements. Building plan approvals can be submitted online via Sydney Water Tap in™.

Please refer to www.sydneywater.com.au/tapin

For Sydney Water's Guidelines for building over or next to assets, visit www.sydneywater.com.au 'Plumbing, building & developing' then 'Building Plan Approvals' or call 13000 TAPIN.

Prior to commencement of works on site Sydney Water must issue either a Building Plan Assessment letter which states that your application is approved, or the appropriate plans must be stamped by a Water Servicing Coordinator.

- 7) Works shall not commence on site until written proof that all bonds, fees and/or contributions as required by this consent have been paid to the applicable authority.
- 8) A long service levy payment which is 0.35% of the total cost of the work is to be paid to the Building and Construction Industry Long Service Payments Corporation.
- 9) Pursuant to section 4.17 of the Environmental Planning and Assessment Act 1979, and the Section 94A Development Contributions Plan - Bankstown (Section 94A Plan), a contribution of \$53,294.09.

The amount to be paid is to be adjusted at the time of actual payment, in accordance with the provisions of the Section 94A plan. The contribution is to be paid before the commencement of works on site.

Note: The Section 94A Contributions Plans may be inspected at Council's Customer Service Centre, located at Upper Ground Floor, Civic Tower, 66-72 Rickard Road, Bankstown, between the hours of 8.30am-5.00pm Monday to Friday.

- 10) Prior to the commencement of works, the applicant must obtain approval from Council's Traffic Section for a Site, Pedestrian and Traffic Management Plan (SPTMP). This Plan must address the measures that will be implemented for pedestrian safety and traffic management as specified below.

Note: – the SPTMP shall be generally in accordance with the plans and details provided in Conditions 2(a) through to 2(c) of this development consent.

This plan shall include details of the following:

- a) Proposed ingress and egress points for vehicles to and from the construction site;
- b) Proposed protection of pedestrians, adjacent to the construction site;
- c) Proposed pedestrian management whilst vehicles are entering/exiting the construction site;

- d) Proposed method of loading and unloading excavation machines, building material, construction materials and waste containers during the excavation period;
- e) Proposed traffic control measures such as advanced warning signs, barricades, warning lights, after hours contact numbers etc. are required to be displayed and shall be in accordance with Council's and the NSW Roads and Maritime Services requirements and AS1742.3.
- f) Proposed route for transportation of bulk and excavation materials to and from the development site.
- g) Proposed traffic control plans prepared by a qualified practitioner for the provision of safe passage for pedestrians and vehicles in the vicinity of the development site.

The route for transportation to and from the development site of bulk and excavation materials shall generally be by the shortest possible route to the nearest "State Road" via "Regional Roads", with every effort to avoid school zones on public roads. Alternate longer routes will only be considered in order to bypass school zones during school zone hours. If school zones cannot be avoided **no heavy construction vehicle movements are to arrive or depart the site during signposted school zone periods 8:00am - 9:30am and 2:30pm - 4:00pm on school days.**

An Agreement to Council's satisfaction, signed by the applicant/owner specifying the approved route and acknowledging responsibility to pay Council to rectify damages to public property adjacent to the site as a consequence of building works shall be lodged with Council prior to any works commencing on site. Damage will be rectified as required by Council to remove unsafe conditions. All damage must be rectified upon completion of work to the satisfaction of Council.

The approved Site, Pedestrian and Traffic Management Plan is to be implemented prior to the commencement of any works on the site.

In addition a RMS Approval / Road Occupancy Licence will be required for works on Regional or State Roads or within 100m of a traffic facility including roundabouts and traffic signals. Refer to Council's Development Engineering Standards for a list of Regional and State Roads.

- 11) Prior to commencement of works on site a Site Operations Management Plan (SOMP) must be provided and approved by Council Traffic Section. This Plan must address the measures that will be implemented for the ongoing management of operations on and around the construction site, the protection of adjoining properties, and other requirements as specified below.

This plan shall include details of the following:

- a) Proposed hoardings, scaffolding and/or fencing to secure the construction site;
- b) Proposed measures to be implemented, under the separately approved Works Permit issued by Council, for the protection of all public roads and footway areas surrounding the construction site from building activities, crossings by heavy equipment, plant and materials delivery and static load from cranes, concrete pumps and the like;
- c) Proposed method of support of any excavation, adjacent to adjoining buildings or the public road. The proposed method of support is to be certified by a Civil Engineer with National Professional Engineering Registration (NPER) in the construction of civil works.
- d) Proposed measures to be implemented in order to ensure that no soil/excavated material is transported on wheels or tracks of vehicles or plant and deposited on the public road.
- e) Proposed measures for protection of the environment, according to the relevant provisions of the Protection of Environment Operations (POEO) Act, 1997 including procedures to control environmental impacts of work e.g. sediment control, proper removal, disposal or recycling of waste materials, protection of vegetation and control/prevention of pollution i.e. water, air noise, land pollution.

A number of the above matters may require separate approval from Council, particularly those relating to works on or adjacent to Council property. These may be covered by separate conditions of consent contained in this Determination Notice. Appropriate approvals will need to be obtained prior to the approval of this plan.

The approved Site Operations Management Plan is to be implemented prior to the commencement of any works on the site, and an approved copy provided to Council for information. Ongoing compliance with the matters detailed in the SOMP shall be monitored by the appointed contractor.

- 12) As any works within, or use of, the footway or public road for construction purposes requires separate Council approval under Section 138 of the Roads Act 1993 and/or Section 68 of the Local Government Act 1993, Council requires that prior to any works commencing on site, a Works Permit and or a Roadway/Footpath Building Occupation Permit shall be obtained where one or more of the following will occur, within, on or over the public footway or public road:

A CERTIFIER CANNOT ISSUE THESE PERMITS

WORKS REQUIRING A 'WORKS PERMIT'

- a) Dig up, disturb, or clear the surface of a public footway or public road,

- b) Remove or interfere with a structure or tree (or any other vegetation) on a public footway or public road,
- c) Connect a road (whether public or private) to a classified road,
- d) Undertake footway, paving, vehicular crossing (driveway), landscaping or stormwater drainage works within a public footway or public road,
- e) Install utilities in, under or over a public road,
- f) Pump water into a public footway or public road from any land adjoining the public road,
- g) Erect a structure or carry out a work in, on or over a public road
- h) Require a work zone on the public road for the unloading and or loading of vehicles
- i) Pump concrete from within a public road,
- j) Stand a mobile crane within a public road
- k) Store waste and recycling containers, skips, bins and/or building materials on any part of the public road.
- l) The work is greater than \$25,000.
- m) Demolition is proposed.
- n) Subdivision is proposed.
- o) A Swimming pool is proposed.
- p) A Vehicular Footway Crossing (VFC) at the property boundary.

Assessment of Works Permits (a to e) includes the preparation of footway design levels, vehicular crossing plans, dilapidation reports and issue of a Road Opening Permit.

All proposed works within the public road and footway shall be constructed under the supervision and to the satisfaction of Council. The applicant/developer shall arrange for necessary inspections by Council whilst the work is in progress.

For commercial or multi-unit residential developments within the designated CBD or an urban village area, footway design and construction and street tree supply, installation and tree hole detailing shall be as per the Council master plan for that area. Full width footways are to be supplied and installed at full cost to the developer to specification as supplied by Council. Layout plan of pavement to be submitted to Council for approval prior to the issue of the Works Permit.

All Council fees applicable, minimum restoration charges and inspection fees shall be paid prior to the assessment of the Work Permit in accordance with Council's adopted fees and charges. Note: Additional fees after approval will be charged where the Work Permit requires occupation of the Road or Footpath ie Hoardings, Work Zones etc.

In determining a Works Permit, Council can impose conditions and require inspections by Council Officers.

Forms can be obtained from Council's Customer Service counter located on the ground floor of Council's administration building at 66 - 72 Rickard Road, Bankstown or Council's website www.cbcity.nsw.gov.au

Part of any approval will require the person or company carrying out the work to carry public liability insurance to a minimum value of twenty million dollars. Proof of the policy is to be provided to Council prior to commencing any work approved by the Work Permit including the Road Opening Permit and must remain valid for the duration of the works.

The commencement of any works on public land, including the footway or public road, may incur an on the spot fine of not less than \$1100 per day that work continues without a Works Permit and/or a Roadway/Footpath Building Occupation Permit.

All conditions attached to the permit shall be strictly complied with. Works non-conforming to Council's specification (includes quality of workmanship to Council's satisfaction) shall be rectified by the Council at the applicant's expense.

- 13) The work in accordance with the development consent must not be commenced until the person having the benefit of the development consent has given at least 2 days' notice to the council of the person's intention to commence works on site.
- 14) Existing trees within the vicinity of the construction works or paths of travel for construction vehicles accessing the development that are to be retained shall be protected with temporary fencing of a style non injurious to tree roots, placed 2m from the trunk base of the existing tree to prevent damage during construction, and retained in accordance with Council's Tree Preservation Order. An arborist is to be commissioned and is to visit the site on a bi-monthly basis to ensure the street trees maintain current health and continue growing in a healthy manner. There is to be no stockpiling of materials within the 2m fenced zone.
- 15) No construction vehicles are permitted to use the driveway serving the basement car park for the Bankstown Library and Knowledge Centre (as provided off Rickard Road), Appian Way or Civic Drive (as provided off Jacobs Street). This is to be clearly documented in the Site, Pedestrian and Traffic Management Plan (SPTMP).
- 16) Prior to any works commencing on site the applicant is required to obtain a Road Occupancy Licence from the TfNSW.
- 17) Prior to the commencement of any works on the site, a Noise and Vibration Management Plan shall be prepared by a suitably qualified person. The applicant shall submit a copy of the approved plan to Council.

- 18) All redundant signage, lighting and utilities are to be made available for Canterbury Bankstown Council's Road Operations team for site pick up and storage.
- 19) Prior to any works commencing on site a Dilapidation Report is to be prepared in which it provides for;

The current structural condition of all Council's infrastructure adjoining the development site, including the condition of the road reserve (footpath, grass, kerb and gutter and roadway) and other Council properties and assets (which includes Civic Drive, Appian Way, the driveway accessing the Bankstown Library and Knowledge Centre (BLaKC), Council's concrete stormwater and recycling tanks to the south and the geothermal bores along the western boundary under the BLaKC driveway) which are adjacent to the property prior to commencement of work.

Pre and post development road pavement condition of designated haul roads between the development site and the State roads recorded on a video. Videos shall be provided in a DVD format. The full costs of the Video Survey will be borne by the developer.

The applicant shall bear the cost of all restoration works to make good any damage to Council assets caused by this development.

- 20) Suitable erosion and sediment control measures shall be erected in accordance with the plan required by Condition 5 of this development consent prior to the commencement of construction works and shall be maintained at all times.
- 21) Council warning sign for Soil and Water Management must be displayed on the most prominent point of the site, visible to both the street and site works. The sign must be displayed throughout the period works are occurring on site.
- 22) Prior to the commencement of work, the applicant must provide a temporary on-site toilet if access to existing toilets on site is not adequate.
- 23) Where the work is located within 3.6m of a public place then a Type A or Type B hoarding must be constructed appropriate to the works proposed. An application for a Work Permit for such hoarding must be submitted to Council for approval prior to the commencement of work.
- 24) A sign shall be displayed on the site indicating the name of the person responsible for the site and a telephone number of which that person can be contacted during and outside normal working hours or when the site is unattended.
- 25) A sign must be erected in a prominent position on the site on which work is being carried out:
 - a. showing the name, address and telephone number of the certifying authority for the work, and

- b. showing the name of the principal contractor and a telephone number on which that person may be contacted outside working hours, and
- c. stating that unauthorised entry to the work site is prohibited.

Any such sign is to be maintained while work is being carried out, but must be removed when the work has been completed.

26) Prior to any works commencing on site:

- a) The person having the benefit of this approval shall submit to the Council a bond (in a form and from a Bond Provider acceptable to Council at its absolute discretion) in the amount of \$830 000 (Bond) as a surety for the completion of the works set out in this condition. A copy of the proposed Bond shall be submitted to the Council for its approval prior to the Bond being accepted by the Council;

The person having the benefit of this approval, prior to commencement of works shall have prepared a Dilapidation Report (or series of reports) which provides for:

- b) The current structural condition of all Council's infrastructure adjoining the development site, including the condition of the road reserve (footpath, grass, kerb and gutter and roadway) and other Council properties and assets (which includes Civic Drive, Appian Way, the driveway accessing the Bankstown Library and Knowledge Centre (BLaKC);
- c) Council's concrete stormwater and recycling tanks to the south and the geothermal bores along the western boundary under the BLaKC driveway) which are adjacent to the property prior to commencement of work;
- d) Pre development road pavement condition of designated haul roads between the development site and the State roads recorded on a video. Videos shall be provided in a DVD format. The full costs of the Video Survey will be borne by the developer;
- e) The person having the benefit of this approval shall submit this First Dilapidation Report prior to works commencing to the Council;
- f) Following the completion of any works which may impact upon any of the items listed in b) to d) above, the person having the benefit of this consent shall submit to the Council a Second Dilapidation Report (or series of reports) indicating what, if any, impact, the works have had on the Council's infrastructure as listed in b) to d) above;
- g) Should any of Council's property and/or the physical environment sustain damage during the course of the demolition or construction works, or if the works put Council's assets or the environment at risk, or if any road, footpath or drainage works required by this consent are not

completed satisfactorily, Council may carry out any works necessary to repair the damage, remove the risk or complete the works. Council may utilise part or all of the Bond to restore any damages, and Council may recover, in any court of competent jurisdiction, any costs to Council for such restorations;

- h) A request for release of the Bond may be made to the Council after all construction work has been completed and a Works Permit Compliance Certificate issued;

CONDITIONS TO BE SATISFIED UPON WORKS COMMENCING

- 27) Work on site may only be carried out between 7.00 am and 6.00 pm on Monday to Friday, or between 8.00 am and 1.00 pm on Saturdays, and no work is to be carried out at any time on a Sunday or a public holiday.
- 28) The work must be carried out in accordance with the requirements of the Building Code of Australia.
- 29) Trucks (laden or otherwise) are not permitted to travel either north or south along Chapel Road (between French Avenue and the Hume Highway) between the hours of 8:00am and 9:30am and 2:30pm and 4:00pm on school days.
- 30) All trucks travelling from the identified marshalling areas to the site shall do so via State roads.
- 31) All Civil and Hydraulic engineering works on site must be carried out in accordance with Council's Development Engineering Standards. All Civil and Hydraulic engineering works associated with Council's assets and infrastructure must be carried out in accordance with Council's Work Permit requirements and to Council's satisfaction.
- 32) All excavations and backfilling must be executed safely and in accordance with the relevant Australian Standards.
- 33) If soil conditions require it, retaining walls or other approved methods of preventing movement of the soil must be provided, and adequate provisions must be made for drainage. Separate approval may be required for retaining walls should they be required.
- 34) The person having the benefit of the development consent must, at the person's own expense:
 - a. protect and support the adjoining premises (including but limited to all Council assets, Appian Way, the driveway accessing the Bankstown Library and Knowledge Centre, Council's concrete stormwater and recycling tanks to the

- south and the geothermal bores along the western boundary under the Bankstown Library and Knowledge Centre driveway) from possible damage from the excavation, and
- b. where necessary, underpin the adjoining premises to prevent any such damage.
- 35) Prior to the commencement of work, the builder shall prepare a photographic record of the road reserve which clearly shows its condition prior to works occurring on site. For the entirety of the works, there shall be no stockpiling of building spoil, materials, or storage of equipment on the public road, including the footway and the road reserve shall be maintained in a safe condition at all times. No work shall be carried out on the public road, including the footway, unless a Work Permit authorised by Council has been obtained.

CONDITIONS TO BE SATISFIED AT THE COMPLETION OF WORKS

- 36) A Works Permit Compliance Certificate shall be obtained from Council at the completion of works.
- 37) A dilapidation survey of all Council's assets identified in Condition 19 of this consent is to be undertaken at the completion of works on the site.
- 38) A Works Permit Compliance Certificate will not be issued until such time as a dilapidation survey (as identified in Condition 37 of this consent) is provided in relation to Council's assets identified in Condition 19 of this consent. The bond (identified in Condition 26), or part thereof, will be refunded dependant on the findings of the dilapidation survey, after assessment and endorsement by Council of the dilapidation survey.
- 39) The applicant is to plant replacement trees on the nature strip forward of the property, ~~within 12 months of completion of the excavation works prior to the issue of an Occupation Certificate or occupation, if Crown building works.~~ The trees shall have a container size not less than 75 litres, shall comply with NATSPEC Specifying Trees: a guide to assessment of tree quality (2003) or Australian Standard AS 2303 – 2015 Tree stock for landscape use, and be planted and maintained in accordance with Councils street tree planting specifications Standard Drawing No. S-201:

Tree Species	Location
Species to be confirmed in consultation with Council's City Transformation Team	On the nature strip forward of the property

Investigation to locate underground services shall be the responsibility of the applicant. Should such services be located and there is a reasonable belief that damage may occur to those services by the new plantings, the applicant is to:

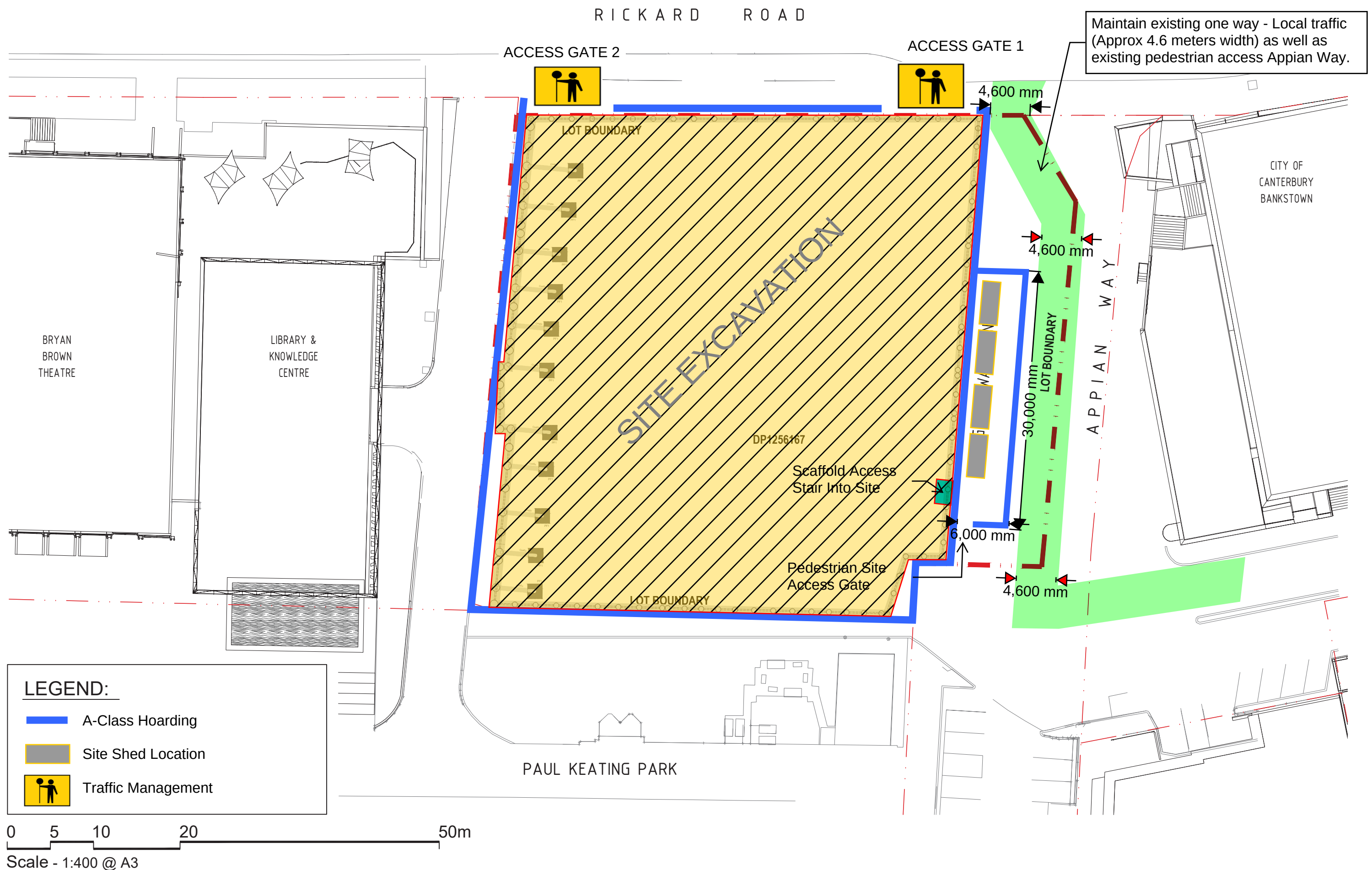
- Carry out engineering works to protect those services from damage; or
- Relocate the plantings to a more suitable location following written approval from Canterbury Bankstown Council; or
- Substitute the approved tree species with an alternative species following written approval from Canterbury Bankstown Council.

The trees shall be planted by a qualified landscape contractor with experience in handling advanced sized tree stock, and in accordance with the tree delivery, planting preparation – general, planting, mulching and staking specifications included in Standard Drawing No. S-201.



planning consultants

ATTACHMENT 2





NOTES

These drawings shall be read in conjunction with all relevant information (not limited to legends, schedules, specifications)

These drawings shall be read in conjunction with any Engineers, Architects or other consultant information. (not limited to drawings, legends, schedules, specifications)

Check all dimensions and site conditions prior to commencement of any work and the procurement of any services, materials, fittings, fabrication or equipment.

Do not scale drawings – refer to figured drawings only. Any discrepancies shall immediately be referred to the Landscape Architect for clarification.

All drawings shall not be reproduced or distributed without prior permission of the Landscape Architect.

WARNING



Services shown on this drawing are approximate only. The exact location is to be confirmed on site by contractor prior to commencement of work.

DATE	REV	AMENDMENTS
19/8/19	1	EARLY WORKS DA

CONSULTANTS



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Fax: +61 3 9600 2819
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Notes:
Refer to the Arborist Report for existing tree information - Eco Logical Australia - 2019 Arborist Report – Western Sydney University – Bankstown Campus Redevelopment.
Prepared for Archerfield Partners

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MELBOURNE

CLIENT

Western Sydney University

PROJECT

New Western Sydney University
Bankstown City Campus

DRAWING

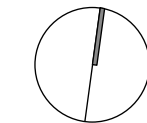
Tree Removal Plan

DRAWN	CHECKED	SCALE A1 SCALE A3
BF	TS	1:200 1:400
STATUS		

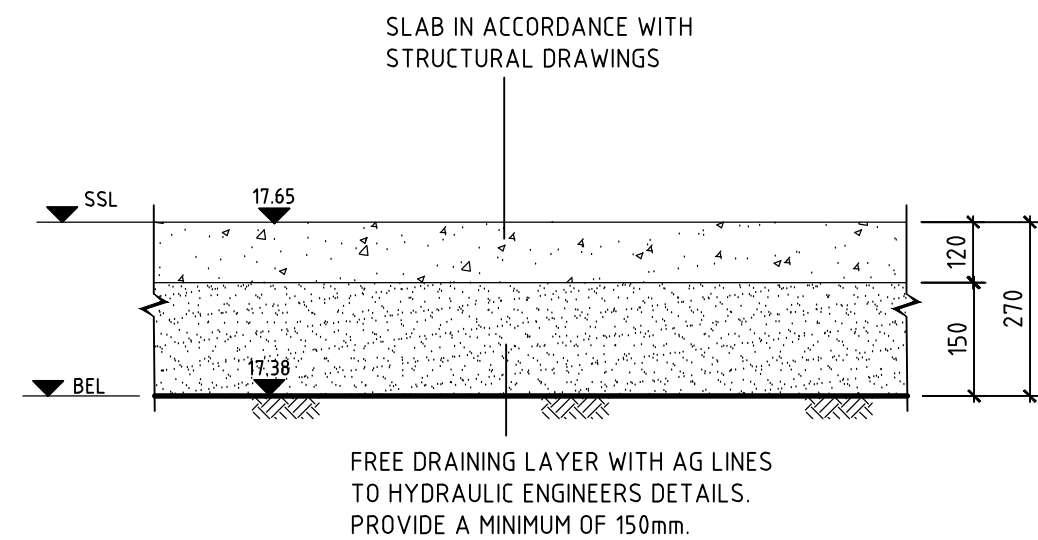
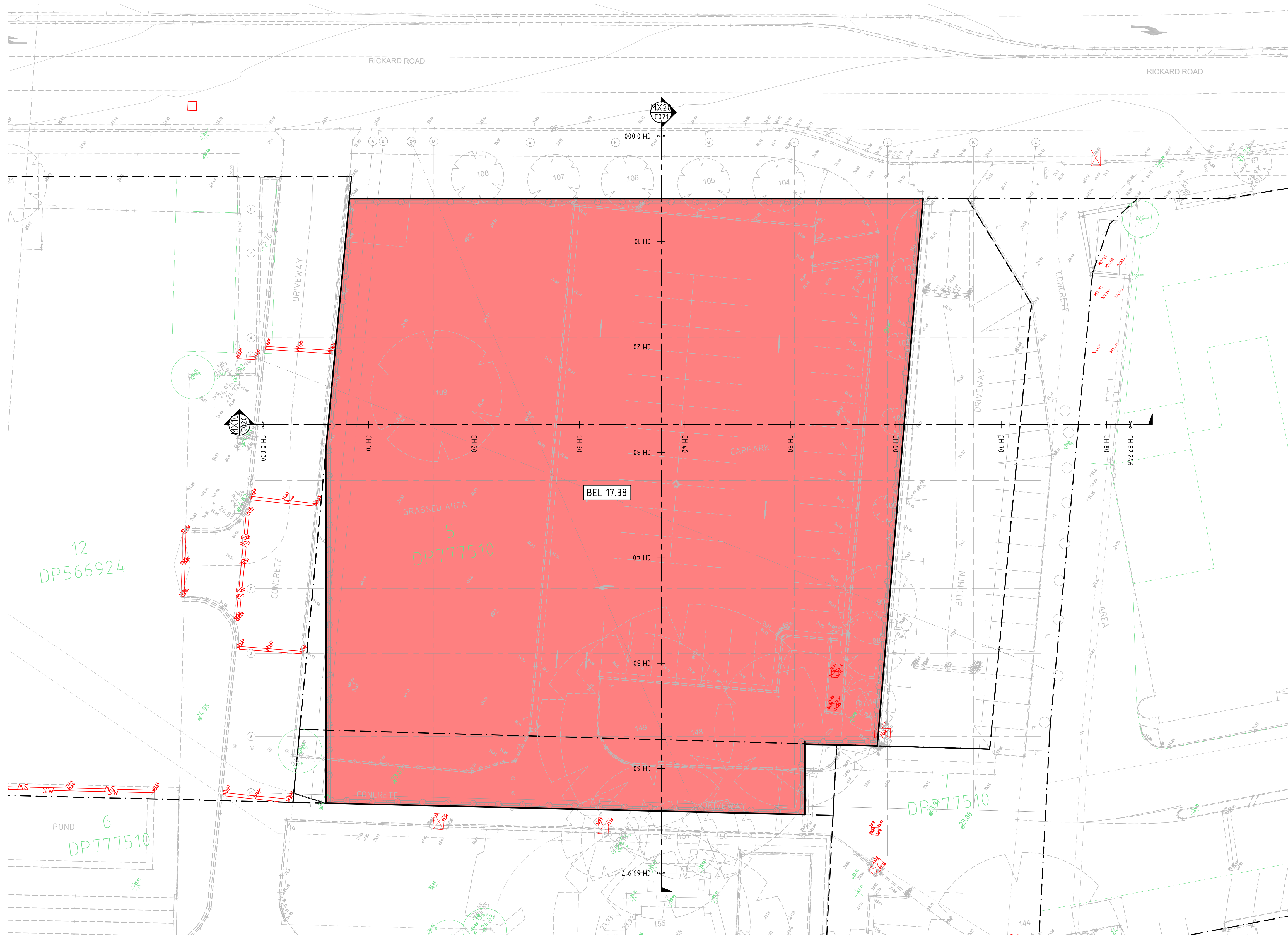
PRELIMINARY
NOT FOR CONSTRUCTION

DRAWING NO. M18056 LA-00-050

REVISION



1



BUILDING BULK EARTHWORKS DETAIL
SCALE 1:10

- SURVEY LEGEND**
- SW EX STORMWATER DRAINAGE LINE
 - S EX SEWER LINE
 - W EX WATER MAIN
 - G EX GAS LINE
 - T EX TELECOMMUNICATIONS LINE
 - E EX ELECTRICAL LINE

- BULK EARTHWORKS LEGEND**
- EXTENT OF CUT TO BULK EARTHWORKS LEVEL
BUILDING CUT VOLUME = 21,815 m³
 - BEL 17.38 FINISHED BULK EXCAVATION LEVEL

- NOTE**
- NET VOLUMES ARE APPROXIMATE ONLY, WHICH ARE FOR MATERIALS COMPACTED IN PLACE AND DO NOT INCORPORATE BULKING FACTORS OR OVER EXCAVATION.
 - GROUND WATER SEEPAGE MAY OCCUR IN EXCAVATED AREAS. DE-WATERING MAY BE REQUIRED IN THIS INSTANCE.
 - CONTRACTOR SHALL HAVE PLAN IN PLACE TO DEAL WITH DE-WATERING AND WATER SEEPAGE. CONTRACTOR TO FOLLOW ESC BEST PRACTICES

EXCAVATION NOTES

- THIS DRAWING ONLY DETAILS BULK EARTHWORKS ASSOCIATED WITH THE BUILDING SLAB (IGNORING STRUCTURAL FOOTINGS, BEAMS AND COLUMNS) AND DRIVEWAY ACCESS RAMP.
- PERMANENT SHORING WALLS ARE ASSUMED TO BE PROVIDED AROUND PERIMETER OF BASEMENT.
- SEDIMENT & EROSION CONTROL MEASURES IN ACCORDANCE WITH LANDCOM "BLUE BOOK" MUST BE IMPLEMENTED DURING CONSTRUCTION TO PREVENT SEDIMENT LADEN WATER LEAVING THE SITE.
- 270mm ZONE BELOW FINISHED BASEMENT SLAB FINISH LEVEL HAS BEEN ALLOWED FOR (NOMINAL 120mm THICK SLAB AND 150mm DRAINAGE LAYER).
- ALL EXISTING PROPERTY SERVICES LOCATIONS AND DEPTHS ARE APPROXIMATE AND MUST BE VERIFIED ON SITE. THE CONTRACTOR SHOULD SUPPLY PRECISE LOCATIONS AND DEPTHS TO THE ENGINEER FOR REVIEW PRIOR TO ANY WORKS THAT MAY AFFECT THESE SERVICES.

WARNING
NO DRAINAGE WORKS SHALL COMMENCE UNTIL THE CONTRACTOR CONFIRMS THE I.L. OF ALL EXISTING DRAINS, AND CONFIRMS IN WRITING WITH THE ENGINEERING SUPERVISOR.



NOT FOR CONSTRUCTION

WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATIONS OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE.

ALL EXISTING PROPERTY SERVICES' LOCATIONS AND DEPTHS ARE APPROXIMATE AND MUST BE VERIFIED ON SITE. THE CONTRACTOR SHOULD SUPPLY PRECISE LOCATIONS AND DEPTHS TO THE ENGINEER FOR REVIEW PRIOR TO ANY WORKS THAT MAY AFFECT THESE SERVICES.

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REV.	DETAILS	DATE
01	EARLY WORKS DA	23.08.2019
02	ISSUED FOR REVIEW	15.01.2020
03	ISSUED FOR TENDER	31.01.2020
04	RE-ISSUED FOR DA - EARLY WORKS	11.04.2020
05	RE-ISSUED FOR DA - EARLY WORKS - NOTE DELETED	24.04.2020

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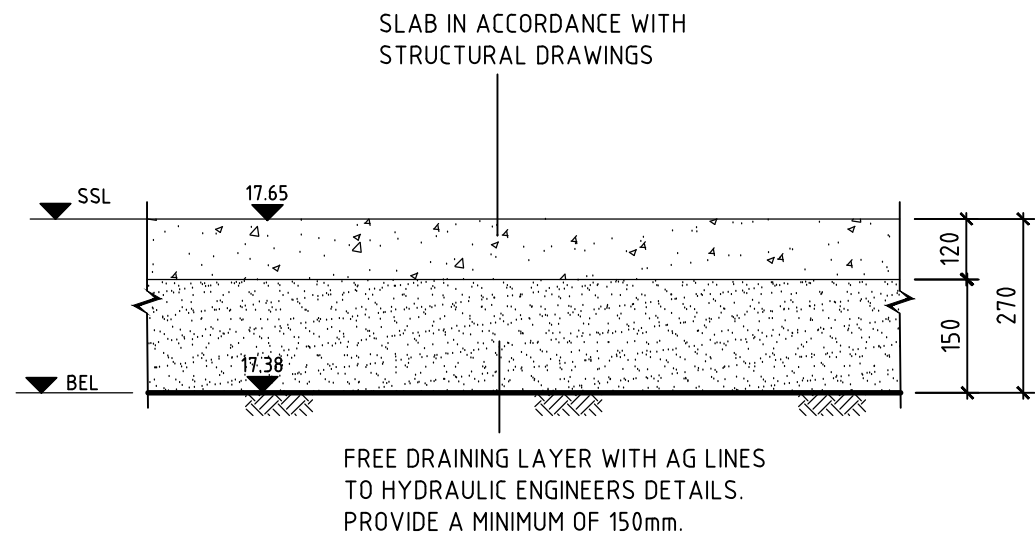
GENERAL NOTES
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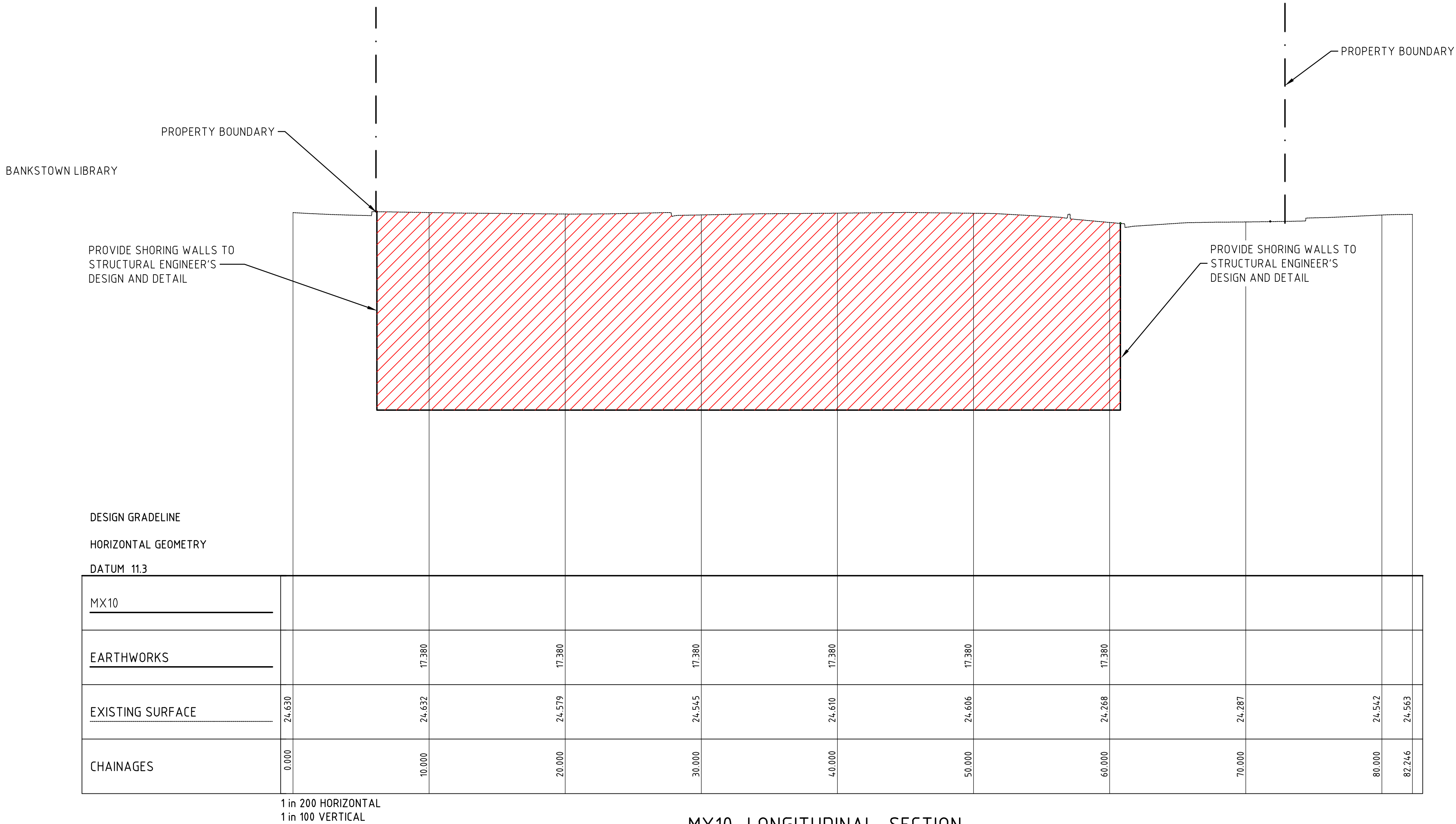
PROJECT
NEW WESTERN SYDNEY UNIVERSITY
BANKSTOWN CITY CAMPUS
74 RICKARD ROAD ALONG WITH A PORTION OF 375 CHAPEL ROAD
DRAWING TITLE
EARLY WORKS BULK EARTHWORKS PLAN

RE-ISSUED FOR DA

JOB No.	DRAWN	CHECKED	DATE
1097901C	MS	-	-
DRAWING No.			REVISION
C01-10			05



BUILDING BULK EARTHWORKS DETAIL
SCALE 1:10



MX10 LONGITUDINAL SECTION

BULK EARTHWORKS ARE NET IN PLACE
AND DO NOT ACCOUNT FOR ANY BUILDING
FOOTING PADS OR OVER EXCAVATION



NOT FOR CONSTRUCTION

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PROJECT
**NEW WESTERN SYDNEY UNIVERSITY
BANKSTOWN CITY CAMPUS**
74 RICKARD ROAD ALONG WITH A PORTION
OF 375 CHAPEL ROAD

DRAWING TITLE
**EARLY WORKS BULK EARTHWORKS
LONGITUDINAL SECTIONS
SHEET 1**

NORTH

RE-ISSUED FOR DA

SCALE
NOTED

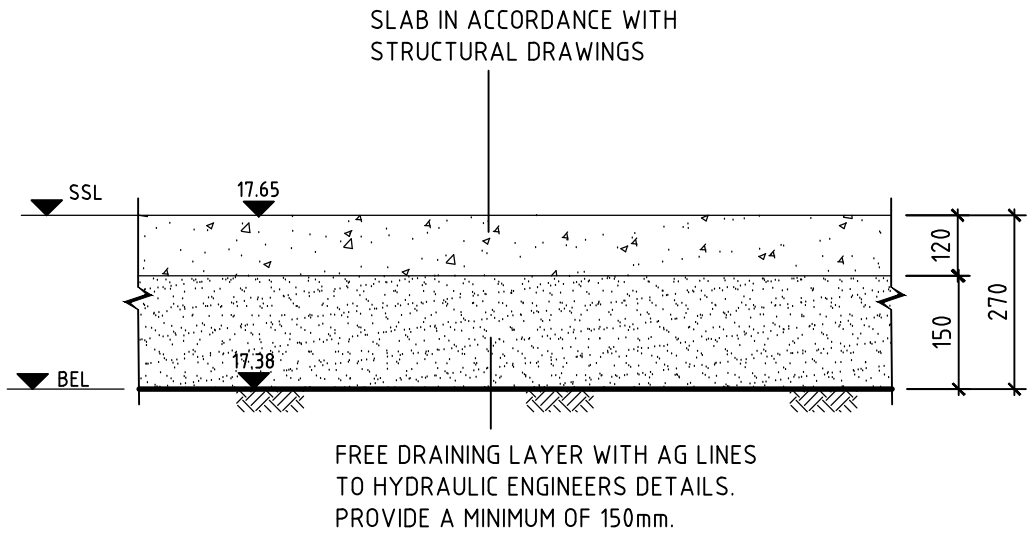
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REVISION

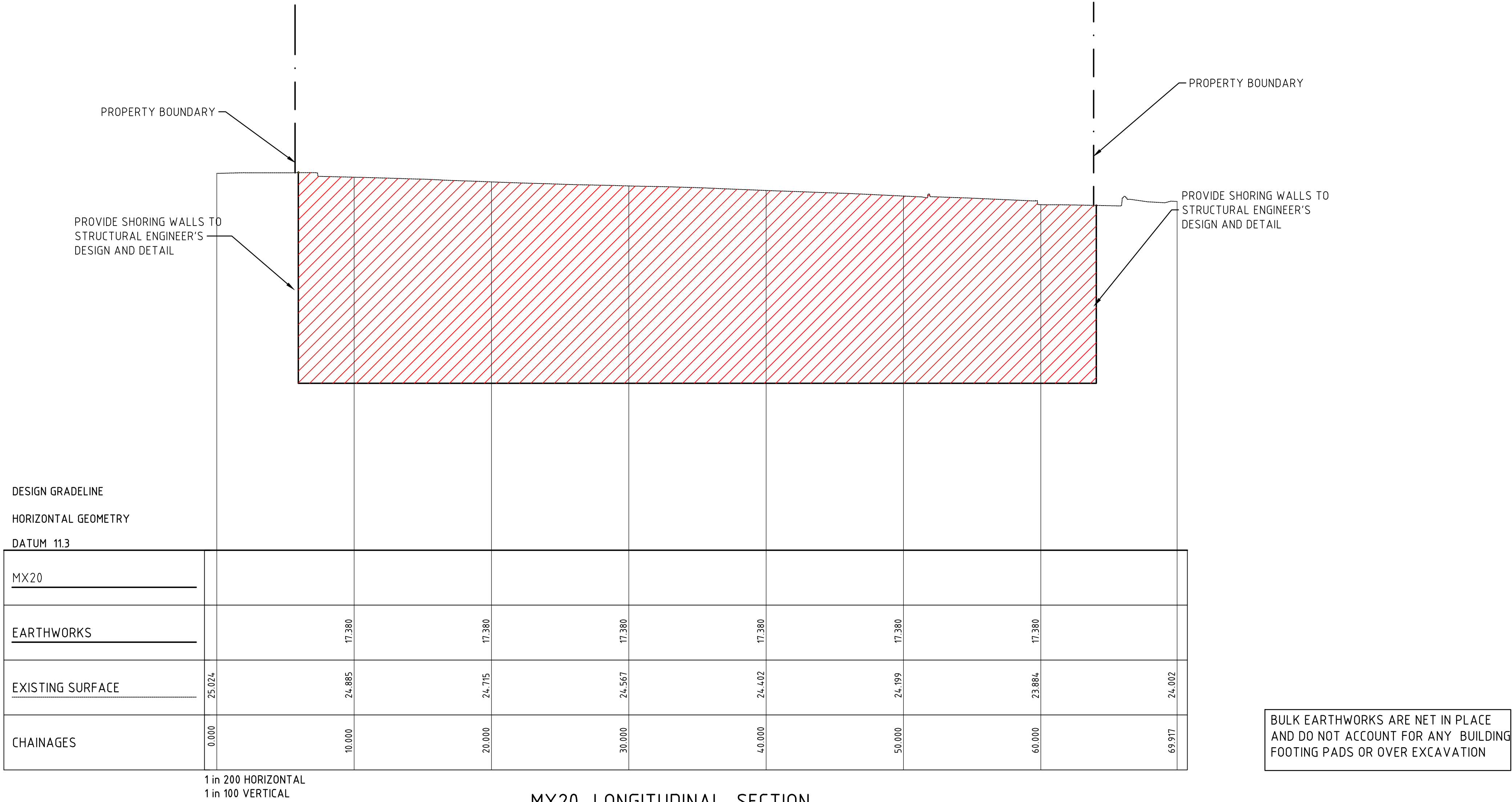
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05



BUILDING BULK EARTHWORKS DETAIL

SCALE 1:10



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74 RICKARD ROAD ALONG WITH A PORTION
OF 375 CHAPEL ROAD

DRAWING TITLE
**EARLY WORKS BULK EARTHWORKS
LONGITUDINAL SECTIONS
SHEET 2**

NORTH			
RE-ISSUED FOR DA			
SCALE NOTED			
JOB No.	DRAWN	CHECKED	DATE
1097901C	MS	-	-
DRAWING No.			REVISION
C01-21			05